

U.S. Army Corps
of Engineers
Baltimore District
PN 21-45

Public Notice

In Reply to Application Number
NAB-2016-61328 Richard Rathmann/Living Shoreline

Comment Period: December 7, 2021 to January 7, 2022

THE PURPOSE OF THIS PUBLIC NOTICE IS TO INFORM INTERESTED PARTIES OF THE PROPOSED ACTIVITY AND TO SOLICIT COMMENTS. NO DECISION HAS BEEN MADE AS TO WHETHER OR NOT A PERMIT WILL BE ISSUED AT THIS TIME.

This District has received an application for a Department of the Army permit pursuant to Section 10 of the Rivers and Harbors Act (33 USC 403) and Section 404 of the Clean Water Act (33 USC 1344), as described below:

APPLICANT: Richard and Mary Anne Rathmann
523 Horn Point Drive
Annapolis, Maryland 21403

WATERWAY AND LOCATION OF THE PROPOSED WORK: The proposed project is located in the Severn River, at 523 Horn Point Drive, Annapolis, Anne Arundel County, Maryland. Latitude: 38.972580; Longitude: -76.475600

OVERALL PROJECT PURPOSE: To provide shoreline erosion protection and to create/improve habitat along the property owned by Richard and Mary Anne Rathmann, at 523 Horn Point Drive, Annapolis, Anne Arundel County, Maryland.

PROJECT DESCRIPTION: To provide shoreline erosion protection and to construct a living shoreline as follows:

To construct a stone revetment measuring 72 foot long by 8 foot wide (576 SF), extending 6 feet channelward of the existing bulkhead, a stone sill measuring 70 foot long by 12.5 foot wide (875 SF), a stone sill measuring 42 foot long by 12.5 foot wide (525 SF), to place 100 cubic yards of clean sand fill into a 2,780 SF area, and to plant approximately 1,650 SF of intertidal marsh and 1,130 SF of high marsh. All structures extend a maximum of 85 feet channelward of the existing bulkhead in the Severn River at 523 Horn Point Drive, Annapolis, Anne Arundel County, Maryland.

All work is proposed in accordance with the attached plans prepared by Sean William Land Strategies, dated September 20, 2020, sheets 1 through 8.

EFFECTS ON AQUATIC RESOURCES:

Activity	WoUS Impact (Sq. Ft.)	Wetland Impact (Sq. Ft.)	Authority (Section 10/404/408)
Sand Containment Structures (stone)	1,976	0	Section 10/404
Fill (sand)	2,780	0	Section 404
Marsh Plantings	2,780	0	Section 404

LEAD FEDERAL AGENCY: The U.S. Army Corps of Engineers, as the lead federal agency, is responsible for all coordination pursuant to applicable federal authorities.

APPLICANT'S PROPOSED AVOIDANCE, MINIMIZATION, AND COMPENSATORY MITIGATION: As part of the planning process for the proposed project, steps were taken to ensure avoidance and minimization of impacts to aquatic resources to the maximum extent practicable based on the existing site conditions and previously authorized work.

No compensatory mitigation is proposed. No submerged aquatic vegetation or wetlands will be impacted as a result of the proposed project.

CORPS EVALUATION REQUIREMENTS: This project will be evaluated pursuant to Corps Regulatory Program Regulations (33 CFR Parts 320-332). The decision whether to issue a permit will be based on an evaluation of the probable impacts, including cumulative impacts of the proposed activity on the public interest. That decision will reflect the national concern for both protection and utilization of important resources. The benefit, which reasonable may be expected to accrue from the proposal, must be balanced against its reasonably foreseeable detriments. All factors, which may be relevant to the proposal will be considered, including the cumulative effects thereof; among those are conservation, economic, aesthetics, general environmental concerns, wetlands, cultural values, fish and wildlife values, flood hazards, flood plain values, land use, navigation, shoreline erosion and accretion, recreation, water supply and conservation, water quality, energy needs, safety, food and fiber production, mineral needs, and consideration of property ownership and in general, the needs and welfare of the people. The evaluation of the impact of this project will also include application of the Clean Water Act Section 404(b)(1) Guidelines promulgated by the Administrator, U.S. Environmental Protection Agency.

ENDANGERED SPECIES: A preliminary review of this application indicates that the proposed work will have no effect Federally-listed threatened or endangered species or their critical habitat, pursuant to Section 7 of the Endangered Species Act, as amended. As the evaluation of this application continues, additional information may become available which could modify this preliminary determination.

ESSENTIAL FISH HABITAT: The Magnuson-Stevens Fishery Conservation and Management Act (MSFCMA), as amended by the Sustainable Fisheries Act of 1996 (Public Law 04-267), requires all Federal agencies to consult with the National Marine Fisheries Service (NMFS) on all actions, or proposed actions, permitted, funded, or undertaken by the agency that may adversely affect Essential Fish Habitat (EFH), including species of concern, life cycle habitat, or Habitat Areas of Particular Concern. The project site lies in or adjacent to EFH as described under MSFCMA for managed species under the MSFCMA. The Baltimore District has made a preliminary determination that the project will have no adverse effect on EFH. The Baltimore District has made a preliminary determination that mitigative measures are not required to minimize adverse effects on EFH at this time. This determination may be modified if additional information indicates otherwise.

HISTORIC RESOURCES:

Pursuant to Section 106 of the National Historic Preservation Act of 1966 and applicable guidance, the Corps has reviewed the latest published version of the National Register of Historic Places and initially determined that no registered properties listed as eligible for

inclusion, therein, are located at the site of the proposed work. The Corps has made the preliminary determination that the proposed project would have no effect on historic properties. The Corps final eligibility and effect determination will be based on coordination with the State Historic Preservation Office as appropriate and required, and with full consideration given to the proposed undertaking's potential direct and indirect effects on historic properties within the Corps' identified permit area.

TRIBAL RESOURCES: Section 106 of the National Historic Preservation Act also requires federal agencies to consult with federally-recognized American Indian tribes that attach religious and cultural significance to historic properties that may be affected by the agency's undertaking. Corps Tribal Consultation Policy mandates an open, timely, meaningful, collaborative, and effective deliberative communication process that emphasizes trust, respect, and shared responsibility. The policy further emphasizes that, to the extent practicable and permitted by law, consultation works toward mutual consensus and begins at the earliest planning stages, before decisions are made and actions taken. The Corps final eligibility and effect determination will be based on coordination with interested tribes, in accordance with the Corps current tribal standard operating procedures as appropriate and required, and with full consideration given to the proposed undertaking's potential direct and indirect effects on tribal resources.

MODIFICATION OF CIVIL WORKS PROJECTS: 33 USC 408 (SECTION 408): All Section 408 proposals will be coordinated internally at USACE. The Section 408 decision will be issued along with the Section 404 and/or Section 10 decision. Please see the following link for more information regarding Section 408:
<https://www.nab.usace.army.mil/section408/>.

WATER QUALITY CERTIFICATION: The applicant is required to obtain a water quality certification in accordance with Section 401 of the Clean Water Act.

COASTAL ZONE MANAGEMENT PROGRAMS: Where applicable, the applicant has certified in this application that the proposed activity complies with and will be conducted in a manner consistent with the approved Coastal Zone Management (CZM) Program. By this public notice, we are requesting the State concurrence or objection to the applicant's consistency statement.

The applicant must obtain any State or local government permits which may be required.

SUBMISSION OF COMMENTS: The Corps of Engineers is soliciting comments from the public; Federal, State, and local agencies and officials; Indian Tribes; and other interested parties in order to consider and evaluate the impacts of this proposed activity. Any comments received will be considered by the Corps of Engineers to determine whether to issue, modify, condition or deny a permit for this proposal. To make this decision, comments are used to assess impacts on endangered species, historic properties, water quality, general environmental effects, and the other public interest factors listed above. Comments are used in the preparation of an Environmental Assessment and/or an Environmental Impact Statement pursuant to the National Environmental Policy Act. Comments provided will become part of the public record for this action and are subject to release to the public through the Freedom of Information Act. Comments are also used to determine the need for a public hearing and to determine the overall public interest of the proposed activity.

Written comments concerning the work described above related to the factors listed above or other pertinent factors must be received by the U.S. Army Corps of Engineers, Baltimore District within the comment period specified above through postal mail at the address below or electronic submission to the project manager email address below. Written comments should reference the Application Number NAB-2016-61328.

PUBLIC HEARING REQUESTS: Any person who has an interest which may be adversely affected by the issuance of this permit may request a public hearing. The request, which must be in writing, must be received within the comment period as specified above to receive consideration. Also it must clearly set forth the interest which may be adversely affected by this activity and the manner in which the interest may be adversely affected. The public hearing request may be submitted by electronic mail or mailed to the following address:

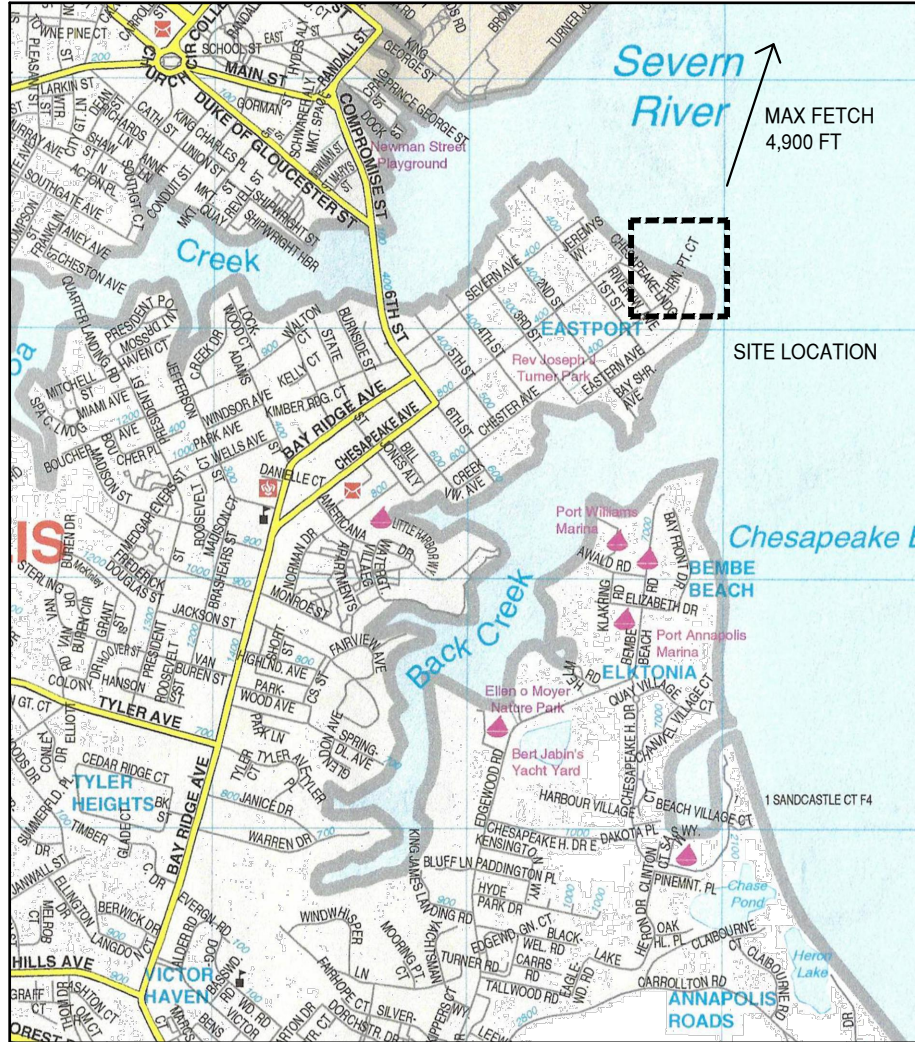
Nicole Voelker
Nicole.M.Voelker@usace.army.mil
U.S. Army Corps of Engineers, Baltimore District
Regulatory Branch
2 Hopkins Plaza
Baltimore, Maryland 21201

It is requested that you communicate this information concerning the proposed work to any persons known by you to be interested, who did not receive a copy of this notice.

General information regarding the Corps' permitting process can be found on our website at <https://www.nab.usace.army.mil/Missions/Regulatory.aspx>. This public notice has been prepared in accordance with Corps implementing regulations at 33 CFR 325.3. If you have any questions concerning this specific project, or would like to request a paper copy of this public notice, please contact Nicole Voelker, Nicole.m.voelker@usace.army.mil. This public notice is issued by the Chief, Regulatory Branch.

VICINITY MAP AND PROJECT LOCATION

SCALES FOR MAPS AS SHOWN



VICINITY MAP | ANNE ARUNDEL COUNTY | MAP 53 | PAGE 43 | ADC MAP | SCALE 1" = 2000'



AERIAL MAP | ANNE ARUNDEL COUNTY | COUNTY PROVIDED GIS

PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13'5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14'3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403
MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

VICINITY MAP AND AERIAL PHOTO

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY.
RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY
SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA
PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

EXISTING CONDITIONS AND DETAILS



1. THIS DRAWING IS FOR INFORMATION AND PERMITTING PURPOSES ONLY.
2. NOT A SITE SPECIFIC ENGINEERING DESIGN.
3. THE MATERIAL DIMENSIONS WILL VARY WITH EACH SITE CONDITION. .
4. ALL HARDWARE SHALL BE HOT DIP GALVANIZED.
5. MHW VARIES FROM SITE TO SITE.

DRAWING SCALE:

$$1'' = 40'$$

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13.5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14.3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

EXISTING SITE CONDITIONS AND DETAILS

9/20/2020

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY.
RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY
SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA
PROVIDED FOR THIS PERMIT SUBMITTAL.

PO Box 1466
Annapolis, Maryland 21404

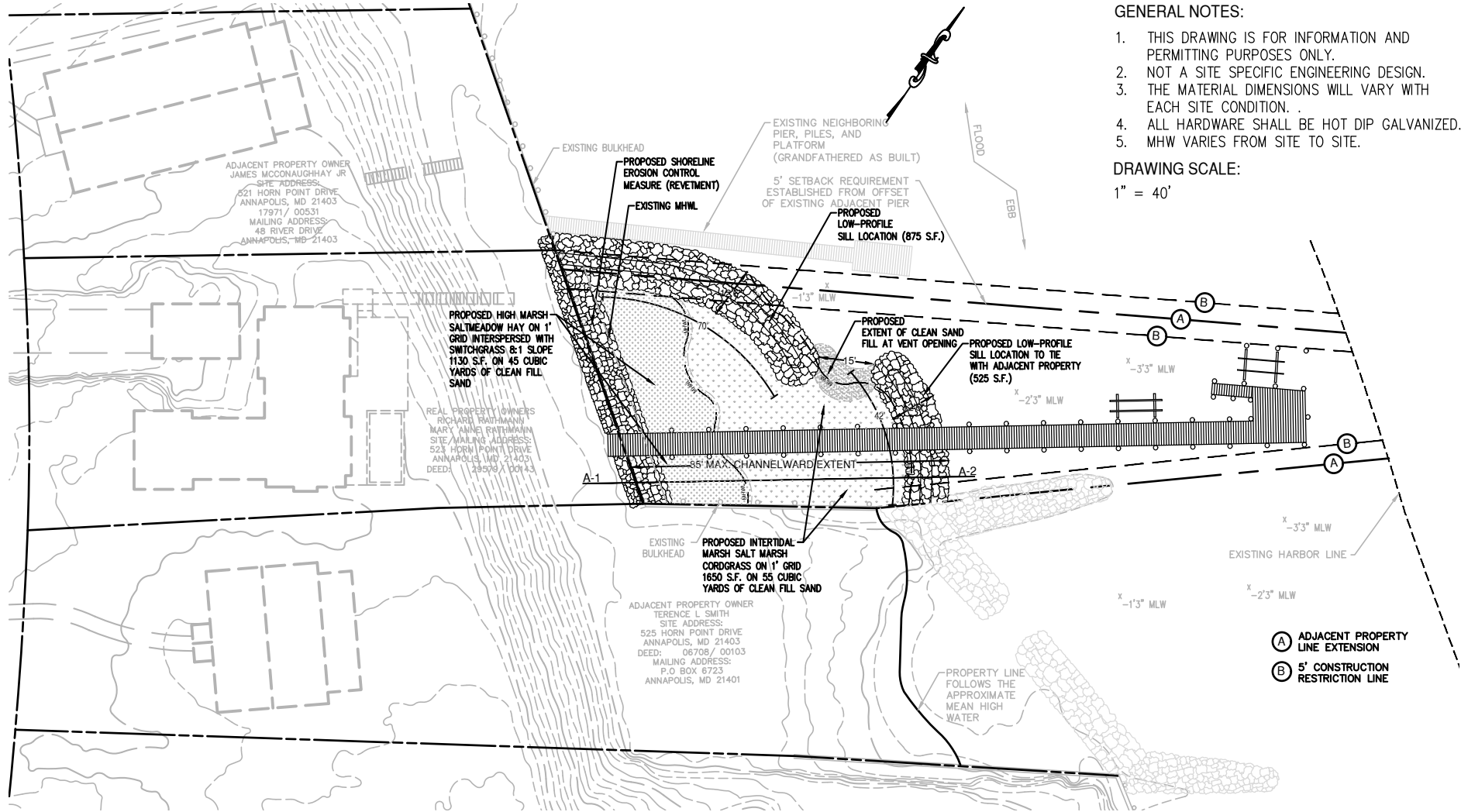
Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

PROPOSED SITE PLAN

PROPOSED CONDITIONS AND DETAILS



GENERAL NOTES:

1. THIS DRAWING IS FOR INFORMATION AND PERMITTING PURPOSES ONLY.
2. NOT A SITE SPECIFIC ENGINEERING DESIGN.
3. THE MATERIAL DIMENSIONS WILL VARY WITH EACH SITE CONDITION.
4. ALL HARDWARE SHALL BE HOT DIP GALVANIZED.
5. MHW VARIES FROM SITE TO SITE.

DRAWING SCALE:

1" = 40'

PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13.5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14.3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403
MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403
DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

PROPOSED SITE CONDITIONS AND DETAILS

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY. RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

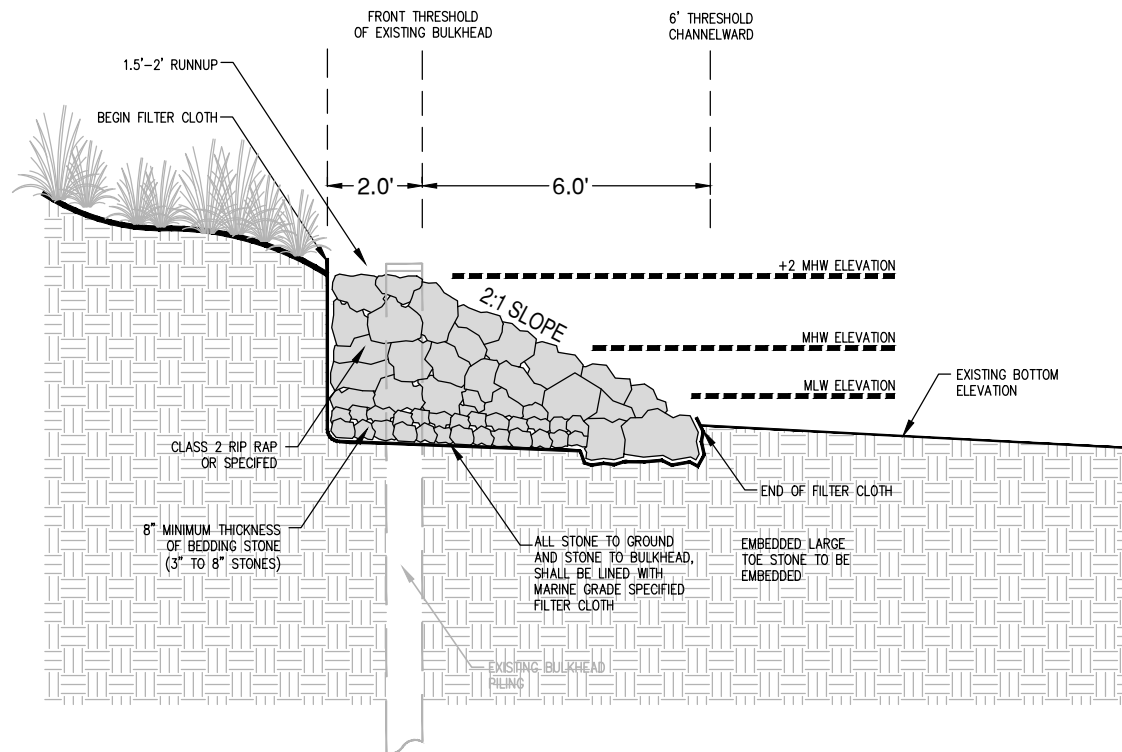
www.seanwilliam.com

CONSTRUCTION PLAN

NEW STONE REVETMENT SECTION AT EXISTING BULKHEAD FOR STABILIZATION

GENERAL NOTES:

1. THIS DRAWING IS FOR INFORMATION AND PERMITTING PURPOSES ONLY.
2. NOT A SITE SPECIFIC ENGINEERING DESIGN.
3. THE MATERIAL DIMENSIONS WILL VARY WITH EACH SITE CONDITION.
4. DRAWING NOT TO SCALE



PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13'5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14'3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

CONSTRUCTION PLAN - NEW STONE REVETMENT AT EXISTING BULKHEAD

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY. RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

SHEET: 4 OF 8

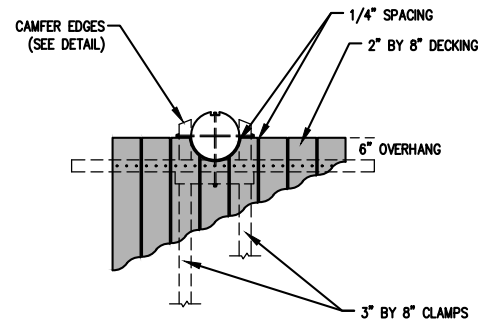
CONSTRUCTION PLAN

TYPICAL PIER, WALKWAY, PLATFORM, AND PILE SPECIFICATIONS

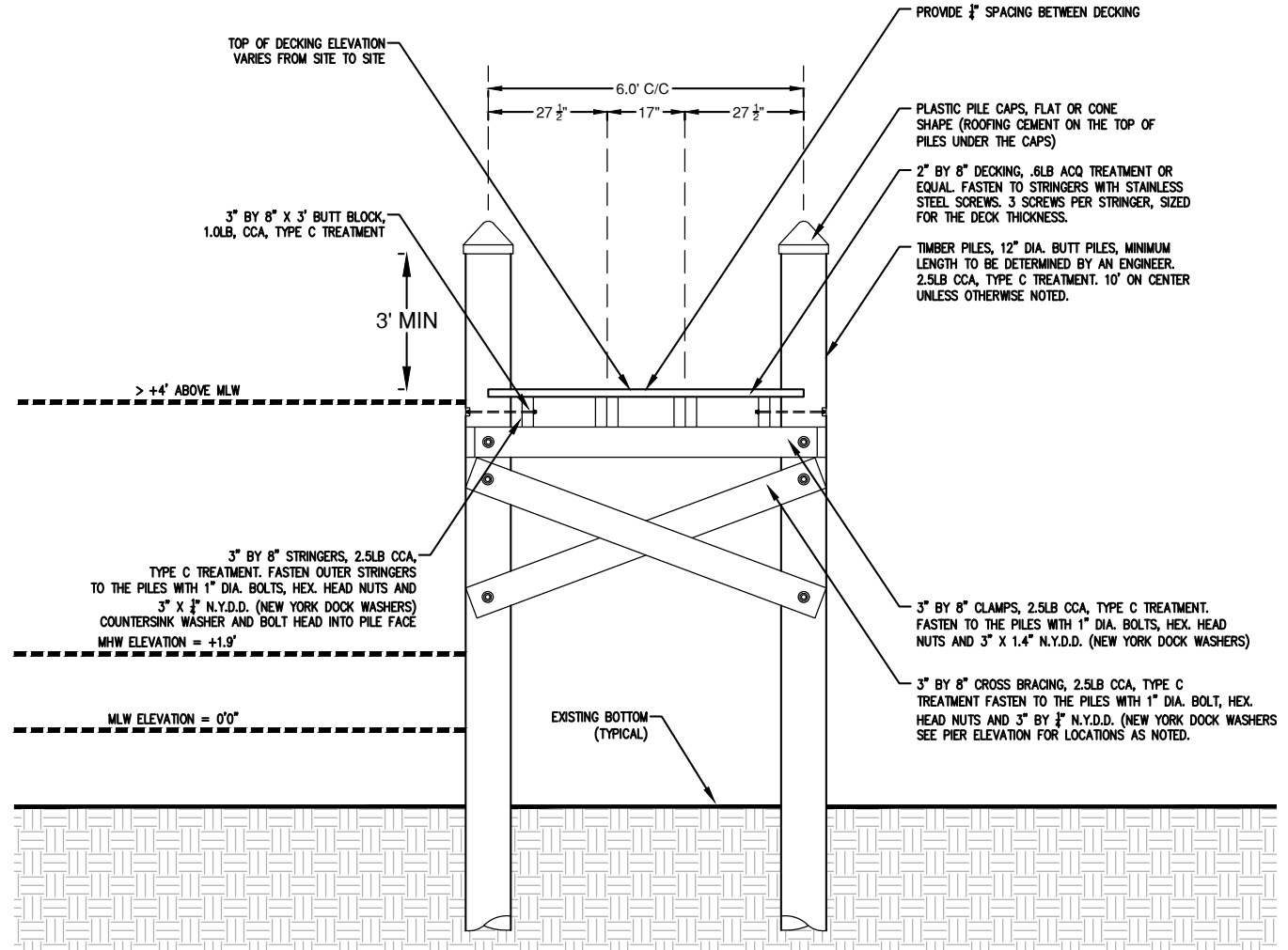
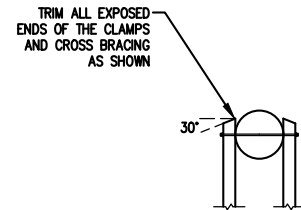
GENERAL NOTES:

1. THIS DRAWING IS FOR INFORMATION AND PERMITTING PURPOSES ONLY.
2. NOT A SITE SPECIFIC ENGINEERING DESIGN.
3. THE MATERIAL DIMENSIONS WILL VARY WITH EACH SITE CONDITION.
4. DRAWING NOT TO SCALE.
5. ALL HARDWARE SHALL BE HOT DIP GALVANIZED.
6. MHW VARIES FROM SITE TO SITE.

TRIMMING DETAIL 1:



TRIMMING DETAIL 2:



PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13.5\"/>

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403
MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

CONSTRUCTION PLAN -TYPICAL PIER, WALKWAY, PLATFORM,
AND PILE SPECIFICATIONS

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY.
RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY
SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA
PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

CONSTRUCTION PLAN

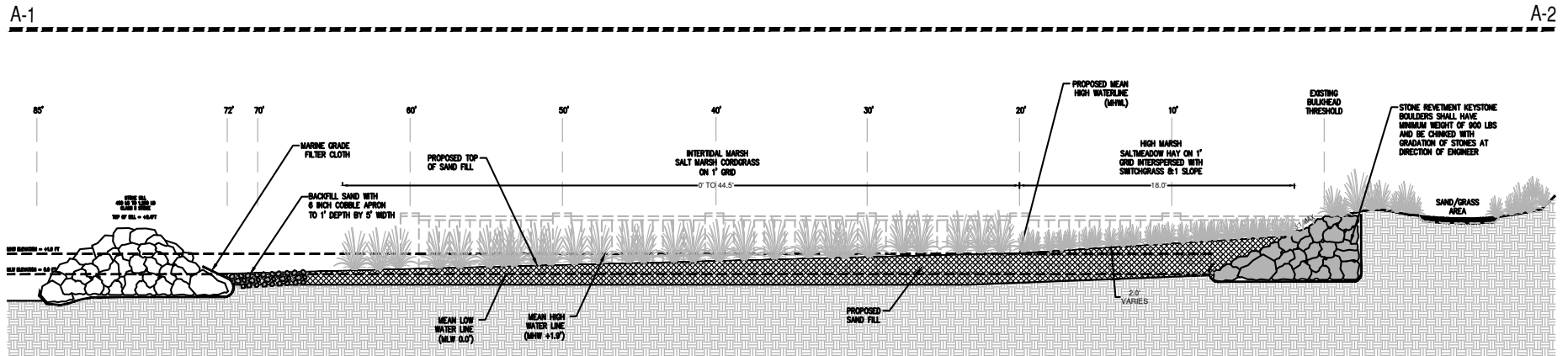
CROSS SECTION FOR LIVING SHORELINE

PROJECT NOTES:

1. MAXIMUM CHANNELWARD DISTANCE OF 85' AS SHOWN ON SECTION A-1 TO A-2 ON SITE PLAN
2. 100 CUBIC YARDS OF CLEAN SAND FILL AS SPECIFIED ON PROPOSED CONDITIONS
3. INTERTIDAL MARSH CREATING SALT MARSH CORDGRASS ON 1' GRID
4. HIGH MARSH PLANTING SALTMEADOW HAY ON 1' GRID INTERSPERSED WITH SWITCHGRASS
5. ALL EQUIPMENT AND MATERIALS BY WATER ACCESS ONLY
6. PLANTING TO OCCUR BETWEEN APRIL 1 AND JUNE 30 OR BETWEEN SEPTEMBER 1 AND OCTOBER 30
7. PLANT ON 1' ON CENTER WITH ADDITION OF LOW NITROGEN, SLOW RELEASE FERTILIZER
8. REGULAR WATERING PROGRAM TO BE ESTABLISHED, AS NECESSARY
9. PLANTING AREA TO BE MONITORED FOR TWO YEARS FROM PLANTING DATE
10. A COVERAGE OF 85% MUST BE MAINTAINED, REPLACE AS REQUIRED TO MAINTAIN

GENERAL NOTES:

1. THIS DRAWING IS FOR INFORMATION AND PERMITTING PURPOSES ONLY.
2. NOT A SITE SPECIFIC ENGINEERING DESIGN.
3. THE MATERIAL DIMENSIONS WILL VARY WITH EACH SITE CONDITION.
4. DRAWING NOT TO SCALE.
5. ALL HARDWARE SHALL BE HOT DIP GALVANIZED.
6. MHW VARIES FROM SITE TO SITE.



PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13.5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14.3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

CROSS SECTION FOR LIVING SHORELINE

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY. RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

CONSTRUCTION PLAN

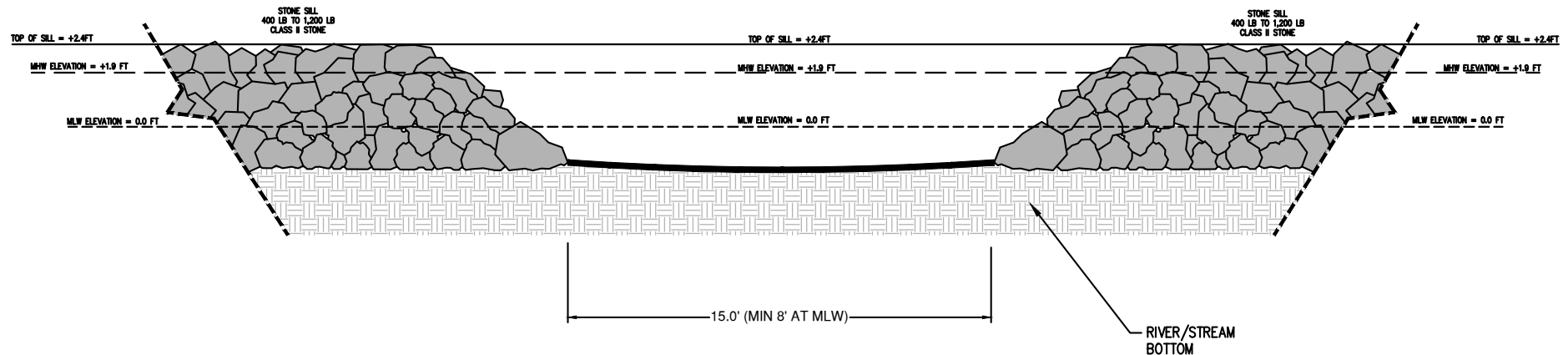
CROSS SECTION FOR SILL

PROJECT NOTES:

1. MAXIMUM CHANNELWARD DISTANCE OF 85' AS SHOWN ON SECTION A-1 TO A-2 ON SITE PLAN
2. 100 CUBIC YARDS OF CLEAN SAND FILL AS SPECIFED ON PROPOSED CONDITIONS
3. INTERTIDAL MARSH CREATING SALT MARSH CORDGRASS ON 1' GRID
4. HIGH MARSH PLANTING SALTMEADOW HAY ON 1' GRID INTERSPERSED WITH SWITCHGRASS
5. ALL EQUIPMENT AND MATERIALS BY WATER ACCESS ONLY
6. PLANTING TO OCCUR BETWEEN APRIL 1 AND JUNE 30 OR BETWEEN SEPTEMBER 1 AND OCTOBER 30
7. PLANT ON 1' ON CENTER WITH ADDITION OF LOW NITROGEN, SLOW RELEASE FERTILIZER
8. REGULAR WATERING PROGRAM TO BE ESTABLISHED, AS NECESSARY
9. PLANTING AREA TO BE MONITORED FOR TWO YEARS FROM PLANTING DATE
10. A COVERAGE OF 85% MUST BE MAINTAINED, REPLACE AS REQUIRED TO MAINTAIN

GENERAL NOTES:

1. THIS DRAWING IS FOR INFORMATION AND PERMITTING PURPOSES ONLY.
2. NOT A SITE SPECIFIC ENGINEERING DESIGN.
3. THE MATERIAL DIMENSIONS WILL VARY WITH EACH SITE CONDITION.
4. DRAWING NOT TO SCALE.
5. ALL HARDWARE SHALL BE HOT DIP GALVANIZED.
6. MHW VARIES FROM SITE TO SITE.



PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13'5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14'3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403

DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

CROSS SECTION FOR SILL

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY.
RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY
SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA
PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

GENERAL NOTES

SITE INFORMATION:

1. GENERAL DESCRIPTION OF PREDOMINATE SOIL TYPE AS SHOWN ON USDA NATURAL RESOURCES CONSERVATION SERVICE MAP.

AuB – ANNAPOLIS–URBAN LAND COMPLEX, 0 TO 5% SLOPES, HSG "C"
2. EXISTING ZONING IS R2-NC/IDA – RESIDENTIAL DISTRICT SETBACKS:
ESTABLISHED FRONT BRL = 27.5'
ESTABLISHED REAR BRL = 52'
SIDE BRL = 6'
3. TOTAL PROPERTY SITE AREA: 10,455 SQUARE FEET OR 0.240 ACRES
4. CRITICAL AREA OVERLAY = IDA (INTENSELY DEVELOPED AREA)
5. THE PROPERTY DESCRIBED HEREON IS LOCATED IN THE FLOOD HAZARD ZONE "X" (AREA OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DELINEATED ON THE FIRM FLOOD INSURANCE MAP #24003C0158F DATED FEBRUARY 18, 2015 FOR SAID COUNTY AND DISTURBED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY.

NOTES:

1. PROPERTY LINES SHOWN HEREON HAVE BEEN TAKEN FROM FIELD EVIDENCE, AND/OR AVAILABLE DEEDS AND/OR PLATS AND SHOULD NOT BE CONSTRUED TO BE REPRESENTATIVE OF THE ACCURACY OF A BOUNDARY SURVEY. THIS PLAN SET IS NOT A BOUNDARY SURVEY. THESE PLAN SETS WERE DEVELOPED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAY NOT REFLECT ENCUMBRANCES, DEDICATIONS, AND/OR RESTRICTIONS WHICH MAY EXIST AND COULD POTENTIALLY BE REVEALED THROUGH A COMPREHENSIVE TITLE EXAMINATION.
2. ALL WORK SHALL BE PERFORMED FROM WATER WITH BARGE ALONG THE EXISTING SHORELINE WITHIN THE L.O.D. TO THE SHORELINE AS SHOWN AND ALL WORK SHALL BE CONFINED TO THE SUBJECT PROPERTY.
3. CONTRACTOR IS RESPONSIBLE FOR THE LOCATION OF ANY PROPOSED STRUCTURES IN RELATION WITH THE PROPERTY CORNERS. NEIGHBORING STRUCTURES SHOWN ON THIS DRAWING ARE APPROXIMATE IN LOCATION AND SHOULD NOT BE USED TO LOCATE ANY NEW STRUCTURES. A SURVEY IS REQUIRED TO LOCATE ANY NEW OR REPLACEMENT STRUCTURES. THIS SURVEY MUST BE PERFORMED BY A STATE OF MARYLAND LICENSED SURVEYOR.
4. THIS SITE PLAN HAS BEEN PREPARED TO REQUEST A MODIFICATION TO REPLACE A BULKHEAD WITH A REVETMENT AND ALTER A PRIOR APPROVED SILL LOCATION. ANY CHANGE TO THESE PLANS WILL REQUIRE A SEPARATE PERMIT FROM ANNE ARUNDEL CO., AND IF WORK IS WITHIN THE WATER OR SHORELINE; MARYLAND DEPARTMENT OF THE ENVIRONMENT AND THE ARMY CORPS OF ENGINEERS. THIS WILL REQUIRE MORE DETAILS AND INFORMATION AND THIS DRAWING SHALL NOT BE UTILIZED FOR SUCH LICENSES OR PERMITS.
5. CONTACT MISS UTILITY AT LEAST 10 DAYS PRIOR TO START OF ANY ON LAND OR IN WATER WORK. ALL UTILITIES MUST BE LOCATED PRIOR TO ANY CONSTRUCTION. THIS PLAN SHALL NOT BE UTILIZED FOR LOCATING ANY UTILITIES EITHER ABOVE AND/OR BELOW GROUND.
6. TOPOGRAPHY WAS OBTAINED FROM THE ANNE ARUNDEL COUNTY DEPARTMENT OF PUBLIC WORKS GIS TOPOGRAPHY. VERTICAL DATUM IS 0.0 FEET IS EQUAL TO MEAN LOW WATERLINE.
7. WATER DEPTHS WERE OBTAINED FROM FIELD MEASUREMENTS AND HAVE A DATUM OF 0.0' OR MEAN LOW WATERLINE.
8. THE CONTRACTOR MUST FIELD VERIFY ALL QUANTITIES AND MEASUREMENTS TO THEIR SATISFACTION. THESE SITE PLANS ARE FOR PERMIT PURPOSES ONLY AND SHALL NOT BE UTILIZED FOR CONSTRUCTION PURPOSES OTHER THAN GENERAL LOCATION OF STRUCTURES.

PROPOSED PROJECT:

- (1) CONSTRUCT 6' X 166' PIER WITH 14' X 13'5" "L" HEAD
- (2) 3 MOORING PILES WITH 3' X 14'3" FINGER PIER
- (3) CONSTRUCT 2 BOAT LIFTS, LIFT (1) LIFT BEAMS SPACED 10'-0" APART
- (4) LIFT (2) TO BE ANCHORED TO PIER PILES AND CANTILEVERED
- (5) INSTALLATION OF LIVING SHORELINE WITH SILLS
- (6) REPLACE IN-KIND EXISTING FAILING BULKHEAD WITH REVETMENT

APPLICANT INFORMATION:

OWNER INFORMATION: RICHARD RATHMANN, REAL PROPERTY OWNER
MARY ANNE RATHMANN, REAL PROPERTY OWNER

PROJECT LOCATION AND INFORMATION:

SITE ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403
MAILING ADDRESS: 523 HORN POINT DRIVE
ANNAPOLIS, MD 21403
DISTRICT: 06
SUBDIVISION: 000
ACCOUNT NUMBER: 05282211
LOT(S): 33 MAP: 052D GRID: 0005 PARCEL: 0742
DEED REFERENCE: / 29579 / 00143
PLAT REFERENCE: B
PROPERTY LAND AREA: 10,077 S.F. (.23 ACRE)

SHEET TITLE AND DATE:

GENERAL NOTES

9/20/2020

PROJECT NOTES:

THIS PLAN IS NOT TO BE CONSIDERED A BOUNDARY SURVEY. RESPECTIVE PARTIES SHOULD PERFORM A PROPERTY BOUNDARY SURVEY FOR EXACT DELINEATIONS OF FIELD INTERPRETED DATA PROVIDED FOR THIS PERMIT SUBMITTAL.

SEAN WILLIAM LAND STRATEGIES

PO Box 1466
Annapolis, Maryland 21404

Email: info@sean-william.com
Phone: 202.760.0405

MHIC License #137310
Marine Contractors License #418E

www.seanwilliam.com

SHEET: 8 OF 8