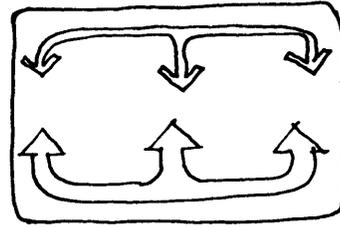


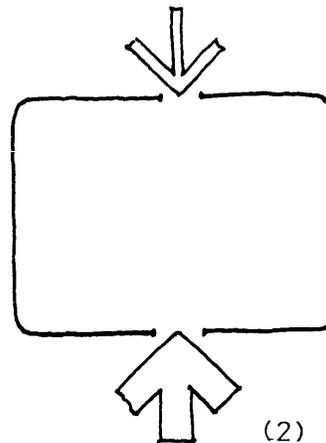
6-1.1 GENERAL CIRCULATION. Plan to preclude crossover traffic between club users and staff. Best solution is a similar circulation plan for users and service personnel with a mingling of the two at those places where their activities appropriately combine. (1)



(1)

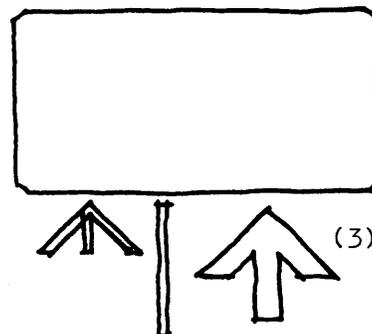
6-1.2 ENTRY PLANNING.

6-1.2.1 Plan for clear separation of main and service entries. (2)



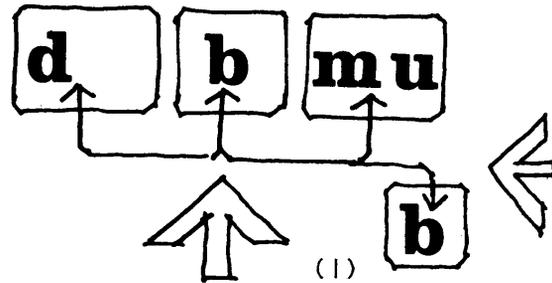
(2)

6-1.2.2 If main and service entry must be on same side of building, then site planning design elements must be used to achieve visual and functional separation. (3)



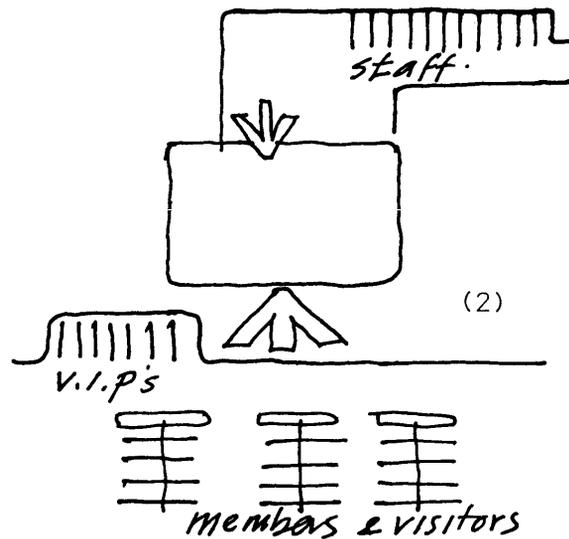
(3)

6-1.2.3 An additional entry that leads to an informal, bar or game room provides a natural separation between formal and informal users, who otherwise may conflict. (1)

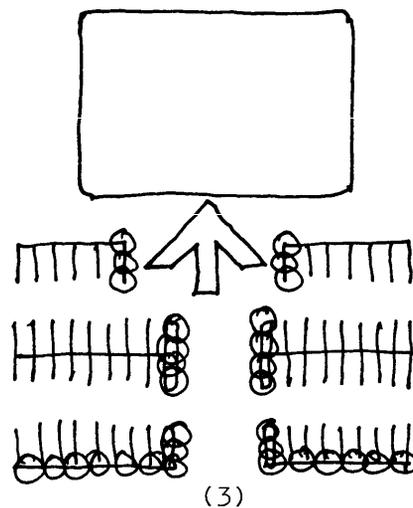


### 6-1.3 PARKING

6-1.3.1 Associate parking with users, with separate areas for staff and club members and guests. A large club should provide close parking for important members or guests, and parking location and quantity should reflect usage of activity areas. (2)



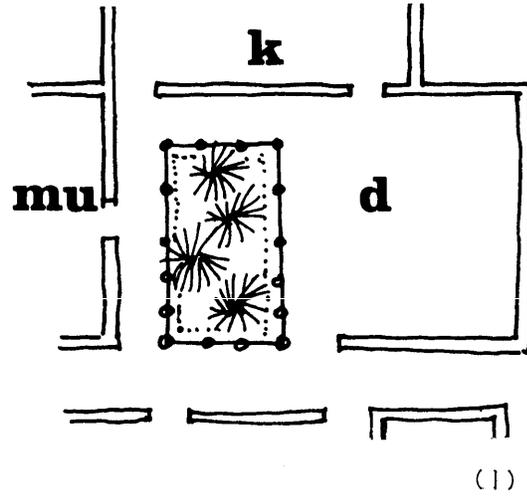
6-1.3.2 Do not approach club through sea of parking. If unavoidable, then screen parking from approach. (3)



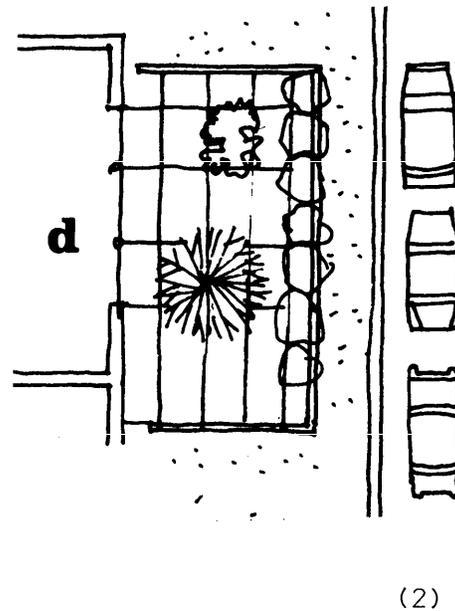
## 6-1.4 ENVIRONMENTAL PLANNING

6-1.4.1 When club surroundings are attractive, an outward-looking plan is appropriate.

6-1.4.2 If club surroundings are unattractive, then planning can create attractive interior views through use of landscaped courts. (1)



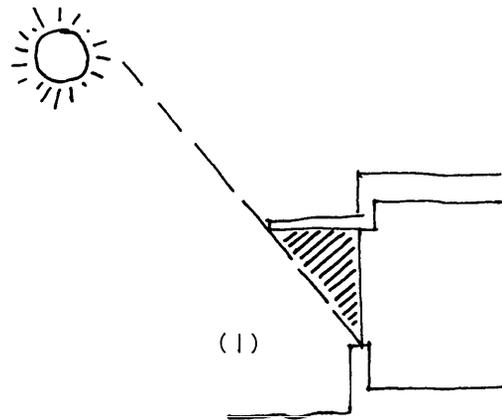
6-1.4.3 Alternatively, screened intimate landscaping can provide a pleasant outlook for perimeter rooms, even if surroundings are unpleasant. (2)



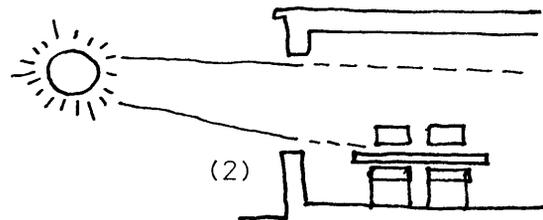
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6-1.4.4 Size of plants should be sufficient to give immediate effect when planted.

6-1.4.5 Orient buildings to minimize solar loads in order to reduce energy consumption. Use eyebrows or other shading devices to reduce solar heat gain on glass that may face direct sunlight. (1)



6-1.4.6 If there is an attractive view, the dining room and bar can most benefit from orientation towards it. However, sometimes view and orientation are in conflict. West orientation for a dining room is undesirable, because of glare from late-afternoon and evening sun. Often a compromise between orientation and view must be arrived at, based on detailed study of local conditions. (2)

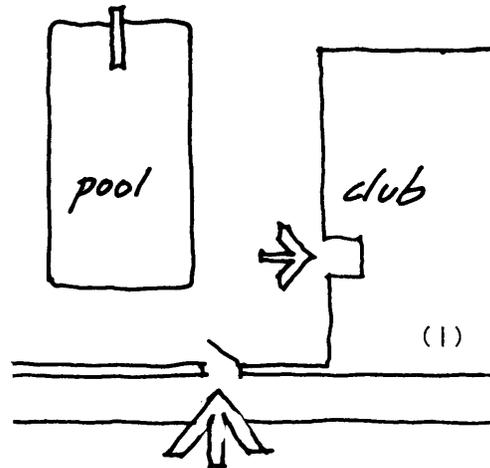


## 6-1.5 POOL PLANNING

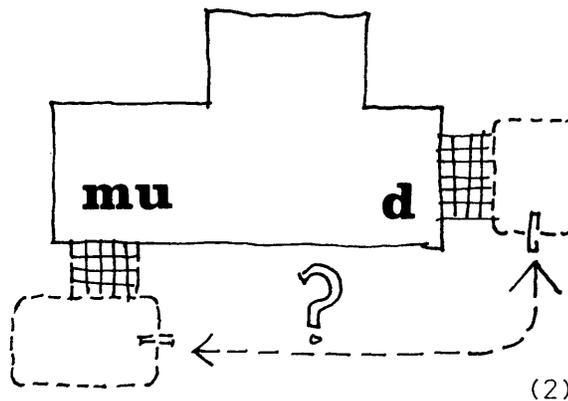
6-1.5.1 Best location is adjoining the dining room, where patio food service can be provided. Should be exposed to southern sun, and screened from wind.

6-1.5.2 Location near club mechanical room is advantageous, so that pool heater and filtration equipment can be placed with other mechanical equipment.

6-1.5.3 Pool should have a separate entry from parking area, and also convenient entry to main club. (1)



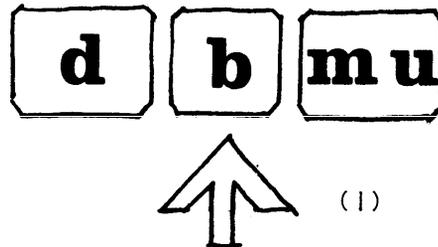
6-1.5.4 Pool location adjacent to both multi-use and dining rooms is difficult to arrange in one-story clubs. It is generally preferable to relate the pool to the dining room, with provision for snack service to a deck adjoining the pool. Typical activities in the multi-use room, such as bingo and dances, cannot utilize the pool facility. (2)



## 6-2.1 GENERAL PLAN ALTERNATIVES

6-2.1.1 The layout of the main activity areas--dining, bar and multi-use--and their intimate relationship to the kitchen--govern the planning of the club. Other areas, such as toilets, storage, etc. , are dependent on the layout of these main areas.

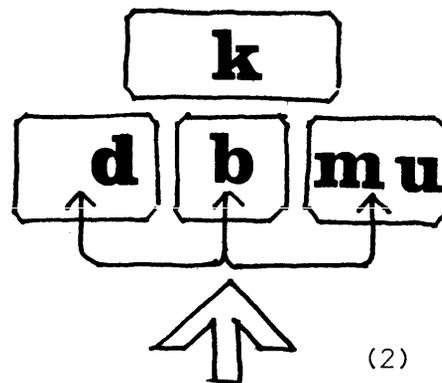
6-2.1.2 Of the main activity spaces-- multi-use, dining, and bar--the latter is most appropriately located adjacent to the entrance. In this location the bar can most conveniently fulfill its function as a socializing, meeting, and waiting space. In addition, a central location enables the bar conveniently to serve the dining, multi-use and party rooms without the need for separate service bars.



6-2.1.3 If the bar adjoins the entrance, there are three basic circulation arrangements that relate entry to the bar, multi-use and dining room, while providing good kitchen access to all three. These arrangements are:

- A. Linear: Multi-use, bar and dining room are arranged in line, with direct access to all. (2)

Good expansion for dining and multi-use

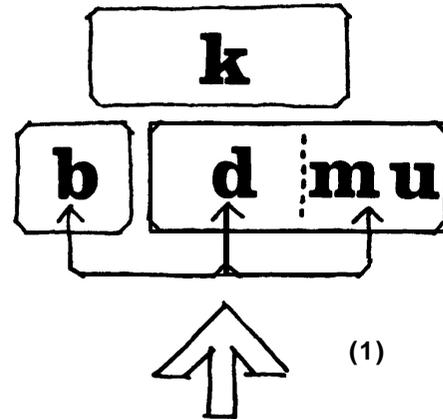


# ARCHITECTURE

No flexibility between dining and multi-use.

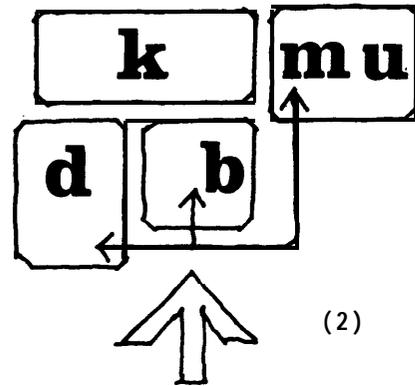
This alternative linear plan of bar/dining/multi-use (1) provides good flexibility between dining and multi-use rooms.

Good expansion for bar, multi-use and kitchen.



- B. Two-way: Dining room and multi-use access is separated by two sides of the bar. (2)

No flexibility between dining and multi-use room.

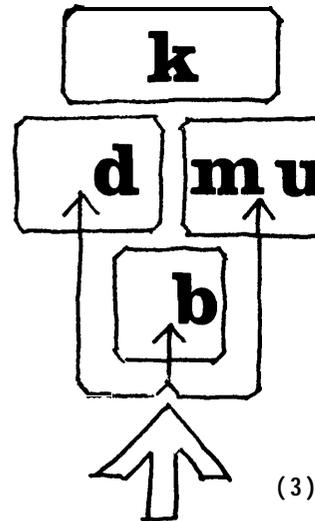


- C. Three-way: Dining room and multi-use access is separated by three sides of the

Provides good flexibility between dining room and multi-use rooms.

Good expansion for dining, multi-use, and kitchen.

Good separation of entrances to dining room and multi-use.



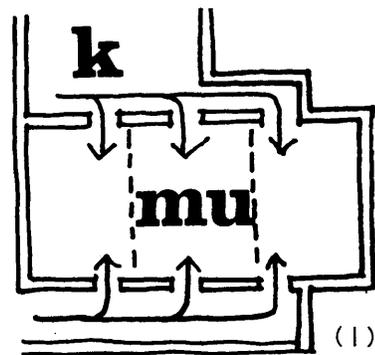
## 6-2.2 FLEXIBILITY

6-2.2.1 The ability to subdivide space by movable walls an impro space utilization.

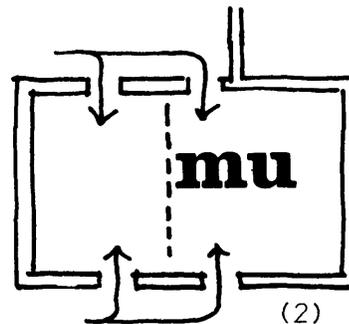
6-2.2.2 It is unusual for all activities--bar, dining, banquet, party--to experience occupancy simultaneously.

6-2.2.3 Though flexibility saves overall space al location, it makes it more difficult to realize clear circulation routes for both users and staff. (1)

However, it is false economy not to provide such routes, and to rely on access through other activity spaces.



6-2.2.4 Flexible space is best planned as rectangular space with entries located on the long dimension. (2)



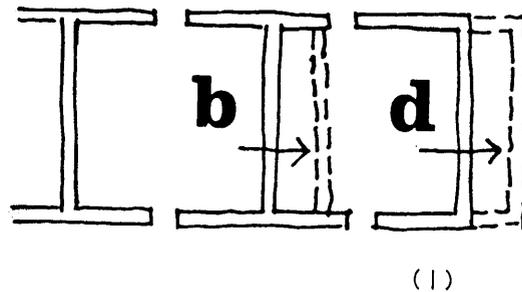
# ARCHITECTURE

## 6-2.3 EXPANSION

6-2.3.1 If expansion can be foreseen with some certainty, spaces expected to expand should be programmed and a design developed in conjunction with a construction phasing plan. If expansion cannot specifically be foreseen, nevertheless consideration should be given to those areas most likely to expand. In general, these will be the multi-use space, the dining room, and the kitchen.

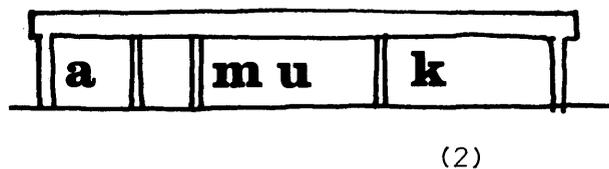
6-2.3.2 Space likely to expand should be located on the building perimeter. The bar will tend to be located in center of building, and can expand only by taking over space from adjoining functions (1), which in turn will need to expand.

6-2.3.3 Bar may best expand by addition of new bar, which may be of different character.

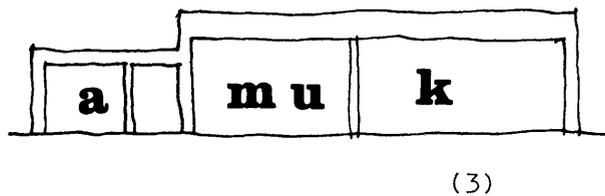


## 6-2.4 SECTION ALTERNATIVES

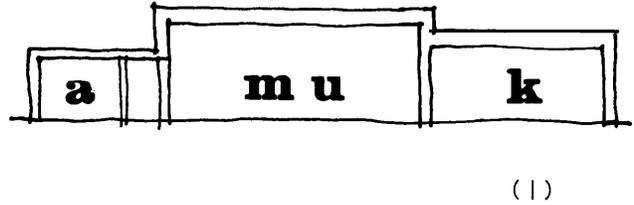
6-2.4.1 Single roof plane. Most economical construction for clubs where largest spaces do not exceed 30 ft. in width. When largest spaces exceed 30 ft. in width, ceiling height should exceed 10 ft. and small rooms should have dropped ceiling. Hence, not economical for large clubs due to excessive volume and furred space in small rooms. (2)



6-2.4.2 As an alternative to a single roof plane, it may be desirable to group low and high spaces together and to utilize two structural heights. (3)

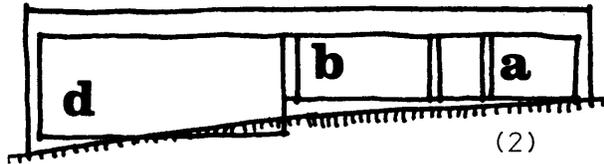


6-2.4.3 In large clubs provide varying ceiling and structural height to suit individual spaces. This approach should be limited to a maximum of three structural heights, or construction may become uneconomical. (1)

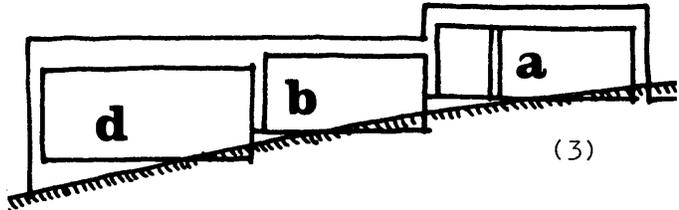


6-2.5 SECTIONS FOR SLOPING SITES

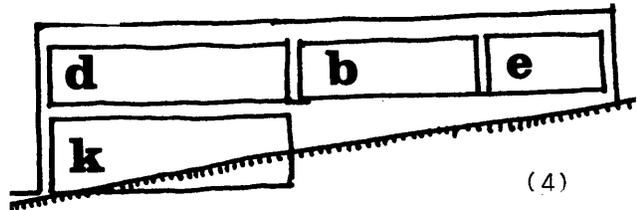
6-2.5.1 Flat roof plane, group large and small spaces to suit slope of land and reduce height of retaining walls. (2)



6-2.5.2 Step spaces to follow site, minimizing excavation and retaining walls. (3)



6-2.5.3 Use site to provide convenient two-level planning. (4)

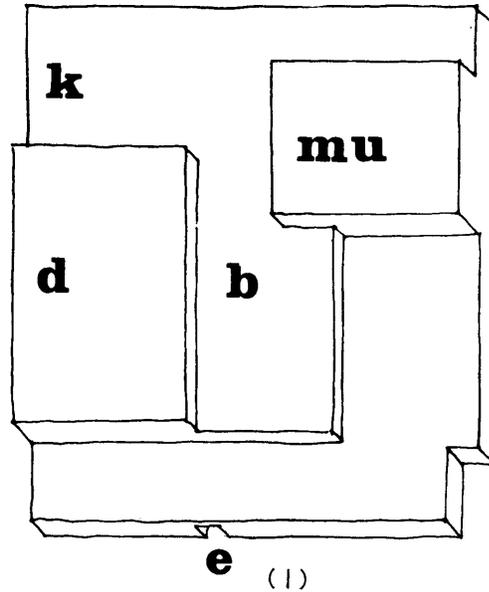


6-2.6 DESIGN IMAGE

6-2.6.1 Form of club building. Traditional buildings were narrow so that windows could provide light and ventilation to all spaces. Interior spaces, with no outside exposure, were not desirable. With the development of modern mechanical ventilation and cooling, comfortable interior spaces became possible.

# ARCHITECTURE

Functional and economical planning tends to result in a characteristic form for a club building. This is a broad plan, sometimes approaching a square. This form of plan is only possible in conjunction with mechanical ventilation or air conditioning. By reducing extent of perimeter, such plans also reduce the heating and cooling loads. This is particularly true of the large single story club. (1)



6-2.6.2 Design Expression.  
The choice of design expression is a matter of taste and economics. In general, there is an appropriate expression for every economic level.

If the installation has a strong and attractive design image, or a consistent use of a particular building material, then this should be respected. Good manners in design wear well.

It is better to use an inexpensive material consistently well than to mix expensive and inexpensive materials badly. A well-designed stucco exterior will be more attractive than a combination of marble and aluminum shingles.

Buildings last a long time. If design follows current trends too closely, it may look foolish in ten years. Exteriors are more permanent than interiors and new design should recognize this. Exterior materials should be chosen that weather well and age gracefully.

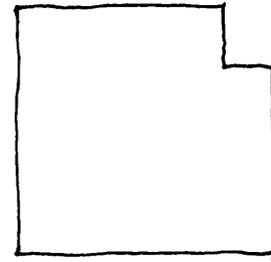
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6-2.6.3 Exterior Expression.  
The exterior expression--style or appearance-- results from variations in four major design options. These are:

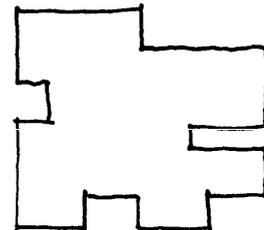
1. The building plan form
- B. The choice of exterior materials
- c. The roof shape
- D. The design details of each of the above, and the r overall effect in combinati on.

6-2.6.4 Building Plan Form.  
Building plans can be classified as simple (1), fragmented (2), or non-rectangular (3).

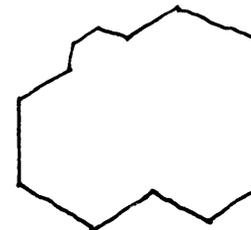
(1)



(2)



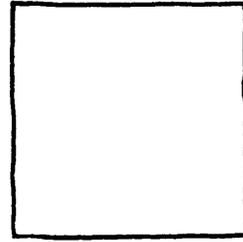
(3)



It should be noted that the geometry of the plan has a large effect on cost, irrespective of any other factors.

# ARCHITECTURE

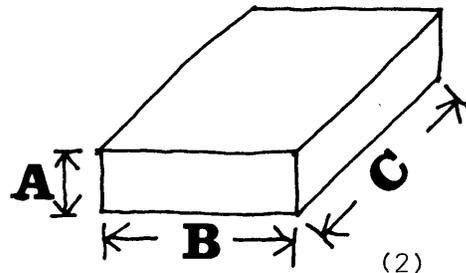
- A. Maximum Economy: Square plan (1)



(1)

- B. Measure of economy is ratio:  
Perimeter wall area/gross floor area. (2)

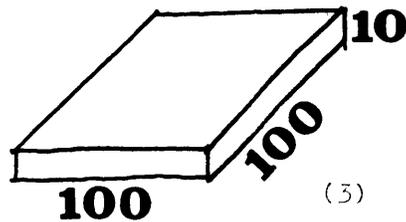
$$\text{Ratio} = \frac{2(ab + ac)}{bc}$$



(2)

- C. Example 1: Perimeter wall area/gross floor area ratio = 0:4 @ \$5.00/s.f., exterior wall cost = \$20,000. (3)

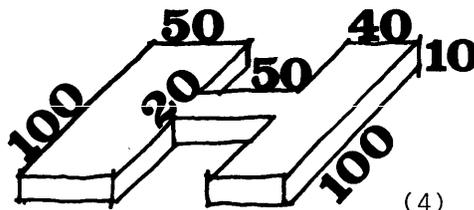
Gross floor area = 10,000 s.f.  
\$2.00/s.f. enclosed



(3)

- D. Example 2: Perimeter wall area/gross floor area ratio = 0:64 @ \$5.00/s.f., exterior wall cost = \$32,000. (4)

Gross floor area = 10,000 s.f.  
\$3.20/s.f. enclosed



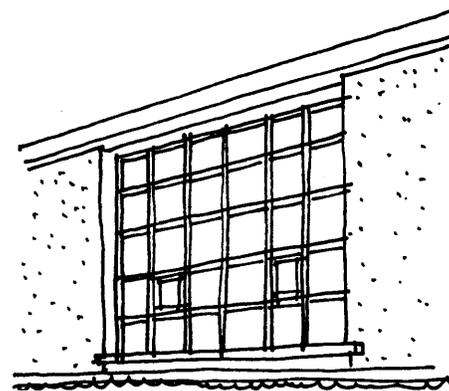
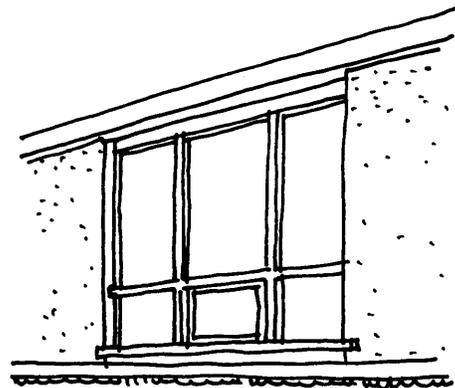
(4)

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6-2.6.5 Choice of Exterior Materials. Materials should be selected both for their initial appearance and in recognition of their long-term weathering and maintenance qualities. Mixtures of a large number of different materials should be avoided, and the design should respect the nature of the materials so that frequent cutting or awkward shapes are avoided. This will improve appearance, and also be more economical .

6-2.6.6 The Roof Shape. The shape of the roof has a large effect on the design character. Common roof forms include flat, mansard, and a wide variety of sloping roofs.

6-2.6.7 Design Details. Detail design modifies the effect of basic design choices, and may add or detract from the overall intended effect.



# ARCHITECTURE

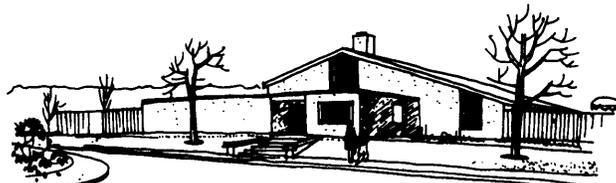
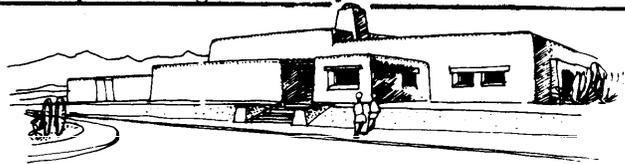
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6-2.6.8 Combinations. The combination of the four major design options results in an almost infinite range of possible design images for a single functional plan. See Figure 6-1.

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Figure 6-1 Range of Design Images for a Single Plan

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### 6-3.1 INTERIOR DESIGN REQUIREMENTS

6-3.1.1 General: Interior design features shall be developed in coordination with the architectural design. All features of the building relative to the interior design, whether they are furnished and installed as part of the construction contract or later provided by the using service, will be developed as an overall scheme. Graphic design and signage will be included as part of the overall design to identify activities with the using service and the installation.

6-3.1.2 Estimating: The costs of all items of equipment and furnishings which are permanently built-in or attached to the structure, as defined in AR 415-17, are normally considered part of the construction contract. Other items which are loose, portable or can be detached from the structure without tools, are generally provided by the using service under separate contract. Interior building surfaces, paint colors, floor coverings, window coverings as required, graphics and signage will be specified as part of the construction contract in coordination with the overall design. Furniture shall be identified for procurement by others.

6-3.1.3 Mandatory Sources: Sources for selection and procurement of furnishings are listed in the GSA Periodical Listing of National and Regional Federal Supply Schedules, the Federal Prison Industries Schedule of Products and the GSA Supply Catalog. Procurement by the using-service from these sources is mandatory insofar as the items covered meet requirements. For items not listed in the mandatory sources above, but which are part of the overall design scheme, appropriate guidance will be provided for procurement by the using service. Mandatory source schedules and catalogs must be reviewed carefully for their currency. New items will be found under New Item Introductory Schedule (NIIS) in the Periodical Listing, mentioned above.

6-3.1.4 Format: Drawings and schedules concerning items not included in the construction contract must be provided in a format that can be readily issued to and be understood by installation personnel who are responsible for procurement, and personnel who are responsible for component placement and utilization after delivery. Display sheets consisting of placement plans, catalog illustrations, material/color samples and perspective sketches of typical spaces; together with procurement lists, source data and cost estimates will be developed as appropriate to accomplish this objective. Clear coordination between these drawings and schedules, and the finish schedules under the construction contract must be evident.

# INTERIOR

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## 6-3.2 MATERIAL-COLOR SELECTION

6-3.2.1 General: Interior finishes shall be appropriate for the designed function of the building and spaces. Selection of materials should be based on low maintenance qualities considering the anticipated use, life cycle cost impact, fire and other safety requirements. Decisions concerning the extent of carpet installation will be coordinated with the using service and should be based on distinct functional advantages, such as acoustics or safety.

6-3.2.2 Color: Use of color in Army facilities is limited to a practical number selected from Federal Standard 595A; Colors. General guidance for color selection is provided in TM 5-807-7; Colors for Buildings. Use soft base colors (TM 5-807-7) in administrative areas and consider brighter base colors and accents in casual seeing spaces. In critical seeing areas, glare, brilliant colors and great brightness differences should be avoided.

6-3.2.3 Finish Materials: Finish materials must be selected in conjunction with color selection. The color, texture and pattern of materials should complement the overall design scheme and be in character with the desired image of the using and the installation/Command. Native (local) materials should be used to the greatest extent practicable. Long-life materials such as stones, tiles, woods, plastics, and vinyls should be selected to provide attractive colors, textures and patterns that will not quickly become out-dated. Painted surfaces and patterns are relatively easy and inexpensive to refinish and can be kept fresh and up-to-date in appearance.

6-3.2.4 Supergraphics: While mainly decorative, these graphics may frequently incorporate useful information such as floor and room numbers, or directional indicators. When professionally done, they can be most effective in livening up dead spaces and producing interest such as in large rooms or circulation spaces.

## 6-3.3 SIGNAGE AND GRAPHICS

6-3.3.1 General: Signage requirements will be specified as an overall signage system. Detail requirements of the using service will be coordinated at the local level. The system should assure maximum economy, ease of procurement and installation, and standardization of application throughout the club. It should also inhibit vandalism but be flexible enough to enable the addition or deletion of information.

6-3.3.2 Message Media: The use of wall graphics and symbols instead of words should be considered. Symbols cut down on the amount of signage required and they are easier to "read". For prohibition signs (such as No Smoking or No Entry), symbols cause less resentment or opposition than if the message had been in words. Letter sizes are designated by the height

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of the capital letters. Typical uses are 1" for registers and general information signs, and 2" for directional and identification signs and any signs where background lines are 3" apart. Four inch lettering should be used where the background lines are 6" apart. Signs should be located as close to eye-level as possible and be illuminated to provide adequate comprehension, either by room lighting or by special sign lighting avoiding reflection and glare.

6-3.3.3 Facility Identifier Sign: A facility identification sign should be located in the entry area oriented toward exterior pedestrian traffic. The sign should identify the facility as "Officers Club" or "NCO Club." It may also indicate the hours of club operation. Size of lettering and the exact location of the sign should be determined in each individual case in relation to the architectural design.

6-3.3.4 Activity Locator Sign: A building activity locator sign should be provided in a prominent place in the entry area. The locator should identify and locate building spaces, key activities and personnel. Use of a graphic locator, perhaps a schematic building plan, should be considered for large facilities.

6-3.3.5 Pictographs or Symbol-signs: The simplest, most direct and economical way to convey certain forms of information is by the use of symbols or pictographs. Use sign panels, approximately 6" square, for most identification purposes on doors only (toilets, phones, house-keeping closets, stairs, etc.). Use sign panels approximately 12" square, for prohibitory signs (no entry, no smoking, etc.) and for Danger, Warning or Caution signs (electrical hazard, etc.). The locations of exits, fire protection and other safety equipment should be strongly emphasized as appropriate.



6-3.3.6 Identification Signs: When words and numbers are required as part of an individual space identification, use sign panels approximately 3" by 24" wall mounted, (next to doors on the side opposite the door swing). A letterform approximately 2" in height, black on white where numbers are required and white on black where words are required, is recommended. The number of 3" by 24" sign panels for each space will depend upon how much information must be displayed.



# INTERIOR

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6-3.3.7 Notice Boards: Notice boards help control clutter and can readily accommodate changing information. They should be used throughout the building wherever they will be most useful. A general notice board should be located in the entry of the club. Smaller boards may be located next to entrances to activity areas where there is a need to elaborate upon the type of activity inside, or to give the names of participants or staff involved, schedules, etc. Simple notice boards can be created by providing a 2' to 6' wide field of a solid base color surmounted at the 7' level by a 6" white board with the word "Notices" in 4" lettering. One or two narrow cork strips at the 6' and 4' levels should be provided as required for thumbtacking notices.

## 6-3.4 FURNITURE AND EQUIPMENT

6-3.4.1 General: Furniture and equipment will be selected from mandatory sources based upon the durability, comfort and safety required for the intended use. Furniture is an integral part of the overall design scheme, and will be closely coordinated with the selection of colors and finish materials for consistency in appearance and quality. Detailed requirements are covered in Section 3, Individual Space Criteria. Items that will be procured as part of the construction contract and those that will be procured by others must both be specified, (see paragraph 6-3.1).

6-3.4.2 Durability, Comfort and Safety: Careful attention must be given to all interior furnishings to insure that the type of furniture chosen conforms to standards of durability, comfort and safety appropriate for the use they will receive. Being generally mobile, furniture items are subject to handling. Parts that receive the most wear should be replaceable, and finishes should sustain regular cleaning. Colors, textures, sizes, proportions, shapes and reflections are important comfort factors that should be considered. Furniture and equipment must withstand loading conditions without damage. Edges and surfaces should be smooth and rounded. Materials must be flame-retardant.

6-3.4.3 Mobility and Interchangeability: Most interior furnishings should not be of a scale which would require more than two persons to relocate them, or be so complicated as to require an undue amount of time to assemble or disassemble. Whenever possible, care should be taken to choose multi-purpose furnishings aesthetically suitable for a variety of needs and activities. Stackable and foldable furniture should be considered for reducing bulkiness in storage and transport where such requirements exist.